

ADDENDUM NO. 2

**DARKE COUNTY BOARD OF COMMISSIONERS
Darke County Board of Developmental Disabilities
Administration & Community Services Renovation**

February 25, 2015

To: Planholders

From: Mote & Associates, Inc.
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Re: Darke County Board of Developmental Disabilities
Administration & Community Services Renovation

This addendum forms a part of the Contract Documents and modifies the original Contract Documents dated February 2015. Acknowledge receipt of this Addendum in space provided on the Bid Proposal form. Failure to do so may subject the Bidder to disqualification.

1. Requirement: Article 13.03.A - Tests and inspections performed by the Greenville Township Fire Department need a minimum of 48 hours advance notice of all required inspections by their agency.

CHANGES/CLARIFICATIONS TO THE SPECIFICATIONS:

2. Section 06 41 13, CABINETS
 - A. 2.03.A specifies steel construction for cabinets and 2.03.B specifies wood construction for cabinets. All cabinets shall be finished wood cabinets as specified in the drawings..

CHANGES/CLARIFICATIONS TO CONSTRUCTION PLANS

3. Sheet G1.01, GENERAL NOTES
 - A. Note #10 states "THE OWNER SHALL OBTAIN THE LOCAL ZONING PERMIT (FROM LOCAL ZONING AUTHORITIES), THE BUILDING PERMIT, MECHANICAL, AND ELECTRICAL PERMITS THROUGH THE LOCAL BUILDING DEPARTMENT AUTHORITY. ALL OTHER PERMITS AND LICENSES INCLUDING BUT NOT LIMITED TO PLUMBING, FIRE ALARM, SPRINKLER, ETC. SHALL BE OBTAINED AND FEES PAID BY EACH RESPECTIVE CONTRACTOR, OR SUBCONTRACTOR REQUIRED FOR THEIR PORTION OF

THE WORK.” This note shall be changed to state the following: THE OWNER SHALL BE RESPONSIBLE FOR OBTAINING THE LOCAL ZONING, BUILDING, MECHANICAL AND ELECTRICAL PERMITS THROUGH THE LOCAL GOVERNING AUTHORITY. ALL OTHER PERMITS, LICENSES, ETC. AND ASSOCIATED FEES INCLUDING BUT NOT LIMITED TO PLUMBING, FIRE ALARM, FIRE SUPPRESSION SYSTEM, ETC. REQUIRED TO SECURE ALL FINAL INSPECTIONS AND OCCUPANCY FOR THE WORK HEREIN SHALL BE THE RESPONSIBILITY OF THE RESPECTIVE CONTRACTOR.

4. Sheet S5.01, KEYNOTE #29

- A. Keynote #29 states "PROPOSED FINISHED WOOD BASE" This note shall be changed to state the following: PROPOSED BASE PER ROOM FINISH SCHEDULE ON SHEET S6.01.

5. Sheet A1.02, DEMOLITION NOTES

- A. The following question regarding the demolition plans was submitted to the engineer: *Does any of the fire alarm or fire suppression system appurtenances get removed? It is the responsibility of the respective contractor and designer to determine what existing appurtenances need to be removed, relocated and/or additional installed to meet the current regulations & authority having jurisdiction.*

6. Sheet A1.01 & E1.03, COMMUNICATIONS CONDUITS

- A. The following question regarding the electrical plans was submitted to the engineer: *Can the 4" communications conduits to be installed from room 120 to 148 and 120 to 174 shown on sheets A1.01 & E1.03 be EMT in lieu of galvanized rigid metallic as specified in the plans?* The engineer will permit the use of EMT in these locations.

7. Sheet E1.03, GENERAL ELECTRICAL NOTES

- A. The following question regarding the electrical plans was submitted to the engineer: *General Electrical Note #3 lists MC Cable as an acceptable practice where permissible with the current NEC but General Electrical Note #10 states that MC Cable is only permissible where specifically noted on the plans. Which note takes precedence?* The engineer will allow MC Cable to be installed where acceptable to meet the current NEC requirements on this project.

8. Sheet E1.03 & E1.04, ELECTRICAL DRAWINGS

- A. The following question regarding the electrical plans was submitted to the engineer:
What is the correct scaling for sheets E1.03 and E1.04? The scale for sheet E1.03 is 3/16" = 1'-0" and the scale for sheet E1.04 is 1/4" = 1'-0".

9. Sheet G1.01, GENERAL NOTES

- A. The following General Note shall be added to the General Notes on sheet G1.01:
ALL SPACES ABOVE THE DROP CEILINGS SHALL BE CONSIDERED A PLENUM RETURN FOR THE HVAC FORCED AIR UNITS. ALL WORK & MATERIALS WITHIN THE PLENUM SHALL MEET PLENUM RATING REQUIREMENTS PER THE OHIO BUILDING CODE (TYPICAL FOR ALL TRADES).

10. Sheet E1.05, POWER PLAN

- A. The electrical contractor shall supply a 208V, 1 phase, 20A receptacle with #12 THHN/THWN cu in minimum 1/2" EMT in room 120 to power the Friedrich CP18G30A through wall A/C unit specified on sheet M1.02.

11. Sheet A1.03, FLOOR PLAN

- A. Keynote #1 states "*EXISTING COLUMN WITH EFIS FINISH SYSTEM TO RECEIVE 36" HIGH FACEBRICK FAÇADE WITH SANDSTONE CAP FINISHED TO THE BOTTOM SIDE OF THE EXISTING EFIS SYSTEM. BRICK TO MATCH EXISTING BRICK AT ENTRANCE OF BUILDING*" should be replaced to state "EXISTING CARPORT COLUMN WITH EFIS FINISH SYSTEM VENEER TO REMAIN. EXISTING EFIS TO BE CUT AND REMOVED FROM FOUNDATION TO 48" ABOVE FOUNDATION. INSTALL FACEBRICK FAÇADE WITH SANDSTONE CAP UP 40" FROM FOUNDATION, FLASH AND PATCH EFIS BACK TO THE TOP OF THE SANDSTONE CAP AND RESURFACE THE EFIS FOR THE ENTIRE HEIGHT OF THE COLUMN (ALL FOUR SIDES) TO MATCH THE PROPOSED EFIS ENTRY WALL. THE BRICK SHALL MATCH THE EXISTING BRICK AT THIS ENTRANCE".

12. Sheet S3.01, ELEVATIONS

- A. Keynote #5 states "EXISTING BRICK VENEER TO REMAIN" should be replaced to state "EXISTING CARPORT COLUMN WITH EFIS FINISH SYSTEM TO REMAIN. INSTALL BRICK VENEER, SANDSTONE CAP AND RESURFACE EFIS PER SHEET A1.03".

13. Sheet E6.01, CONDUIT STUB DETAIL

- A. The electrician shall be responsible for installing an open snap-on bushing on the end of each conduit stub.

14. Sheet S6.01, DOOR SCHEDULE

- A. Door #1 – add a brushed sweep to the remarks.
- B. Door #41 – under hardware set type it shall state #8.
- C. Door #41 – add an electric strike to the remarks.

15. Sheet E1.06, POWER PLAN

- A. Keynote E14 on sheet E1.06 states ” PROPOSED 200 AMP ELECTRICAL PANEL (P-H)”. This note shall be changed to state “UNUSED KEYNOTE”.

16. Sheet E1.05, POWER PLAN

- A. Keynote E3 on sheet E1.05 states ” EXISTING ELECTRICAL PANEL TO REMAIN. REMOVE AND REINSTALL TO ACCOMODATE NEW WORK”. This note shall be changed to state “EXISTING ELECTRICAL DISTRIBUTION PANEL TO REMAIN IN SERVICE”.

17. Sheet E1.04, LIGHTING PLAN

- A. The existing light fixtures in room 170 & 173 are currently on single pole switches. It shall be the responsibility of the electrical contractor to install boxes, circuitry and switches necessary to change these fixtures to have 3-way switching. The proposed switches shall be installed at the strike side of door #42.

18. Sheet E6.02, NEW PANELS

According to power riser diagram, sheet E6.02 new panels “SPG-1” and “SPD-2” are proposed to be ran in rigid conduit. Is this a user/engineer requirements or can this be ran in EMT: The conductors to subfeed panels SPG-1 and SPD-2 shall be run in EMT.

19. Sheet S5.01, DETAILS

- A. The receptionist window details on sheet S5.01 have been revised to show the window sill at 36” A.F.F. and the window is now 36” high. A new drawing number S5.03 has been added and attached to this addendum.

20. Sheet S6.01, WINDOW SCHEDULE

The window details call out bronze finished trim and flashing but the window only comes in white. The windows A and B and all window units flashing and exterior trim shall be sandstone in color (match the exterior window).

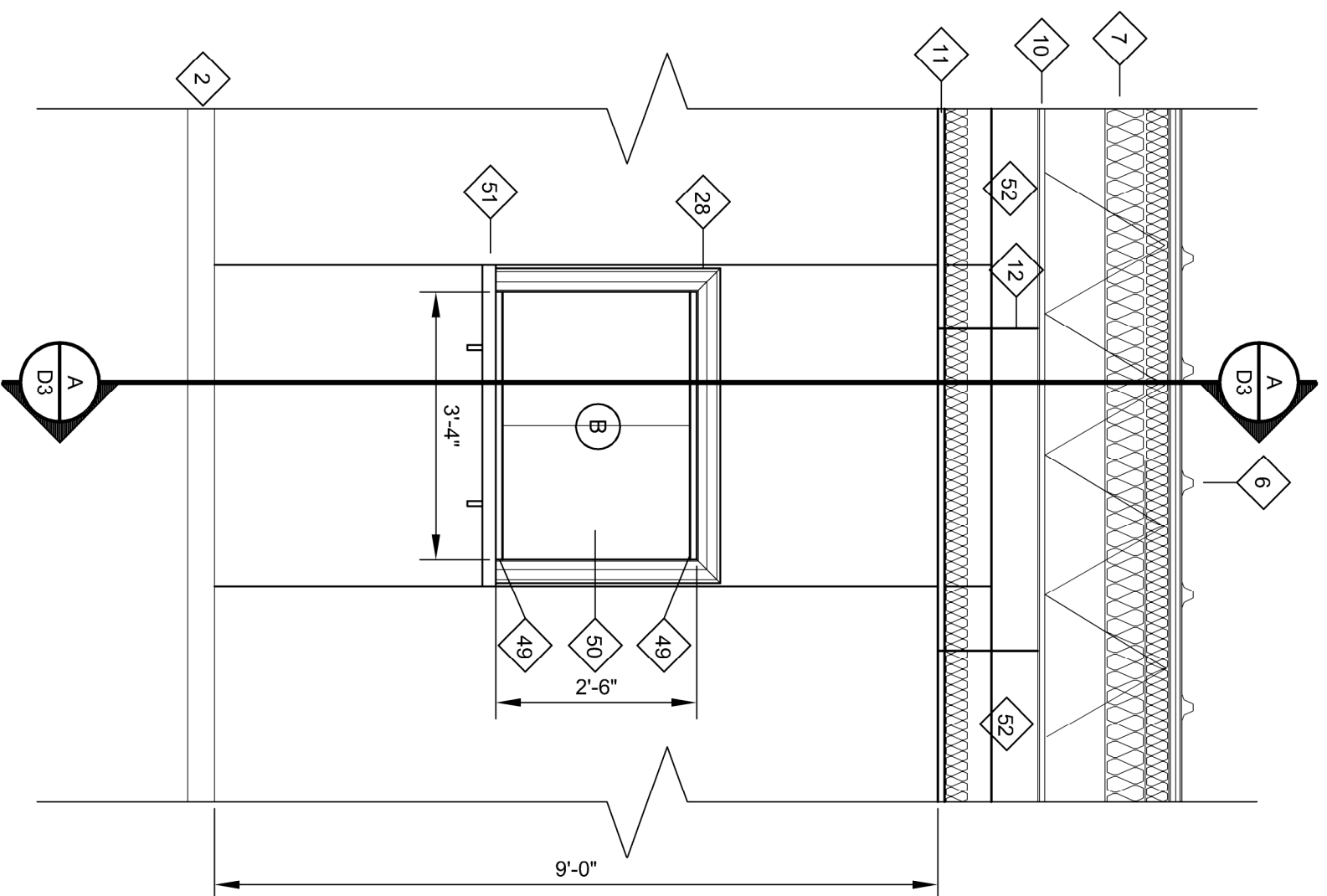
GENERAL INFORMATION/CLARIFICATIONS

21. The owner's security vendor is Garber Connect and the contact is Branton Hoblit at (937) 875-0781
22. The owner's Fire Alarm vendor is Koorsen Fire & Security and the contact is JD Burden at (765) 935-7781.
23. The owner's IT vendor is DOSS Business Systems and the contact is Paul Doss at (937) 548-9009.
24. Each contractor is responsible for removal, storage and protecting of all items to be reutilized. In addition the contractor shall provide off-site storage for all new items to be installed. The owner does not have space on site for storage other than the staging area outlined on Sheet C1-01.
25. The owner's security vendor will furnish and install the air phones and key fobs shown on the plans. The general contractor shall coordinate with the owner's security contractor all security items to be installed during the project. The electrical contractor shall be responsible for installing a box and conduit stub per ADA push pad, security key fob locations, communications box and cover detail as shown on sheet E6.01. The electrical contractor shall be responsible for installing two box and stubs for each air phone. One box at each air phone and one box and stub for the receiver at the receptionist desk (location per owner).
26. The general contractor shall be responsible for supplying and installing the doors, accessories, automatic operators, remote and hardwired actuators for the automatic operators, magnetic locks, electronic strike, etc. The electrical contractor is responsible for the power supply to the door equipment. Coordinate all work with the general contractor & door & hardware suppliers.
27. All light fixtures and ceiling grid in area "D", alternate #1 work area, shall remain in service throughout construction protect from damage.
28. All proposed exhaust fans shall be provided and installed by the HVAC contractor and wired by the electrical contractor.

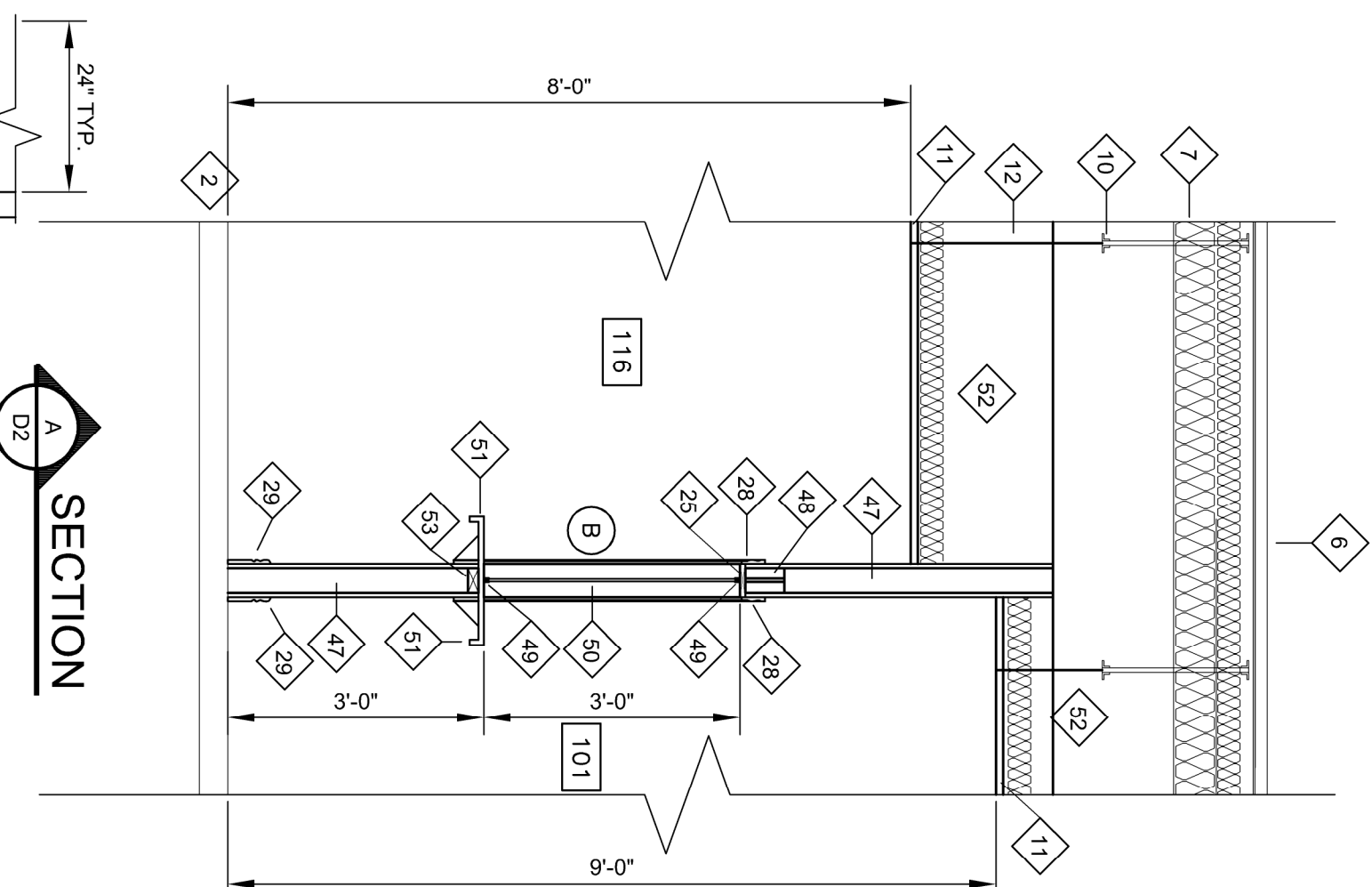
29. The fire alarm work is not proprietary to the owner's fire alarm vendor. Any qualified fire alarm contractor that can satisfy the requirements herein can bid the work.
30. All glazing shall comply with the current OBC section 2406.4 for safety glazing where applicable.
31. The following question regarding the electrical plans was submitted to the engineer:
Who is installing the voice/data cabling and who is installing the conduit stubs and boxes? The electrical contractor shall be responsible for installing the conduit stubs and boxes. The owner's IT vendor & communications vendor will furnish and install the voice/data cabling.

Attachments: Revised Receptionist Window Detail

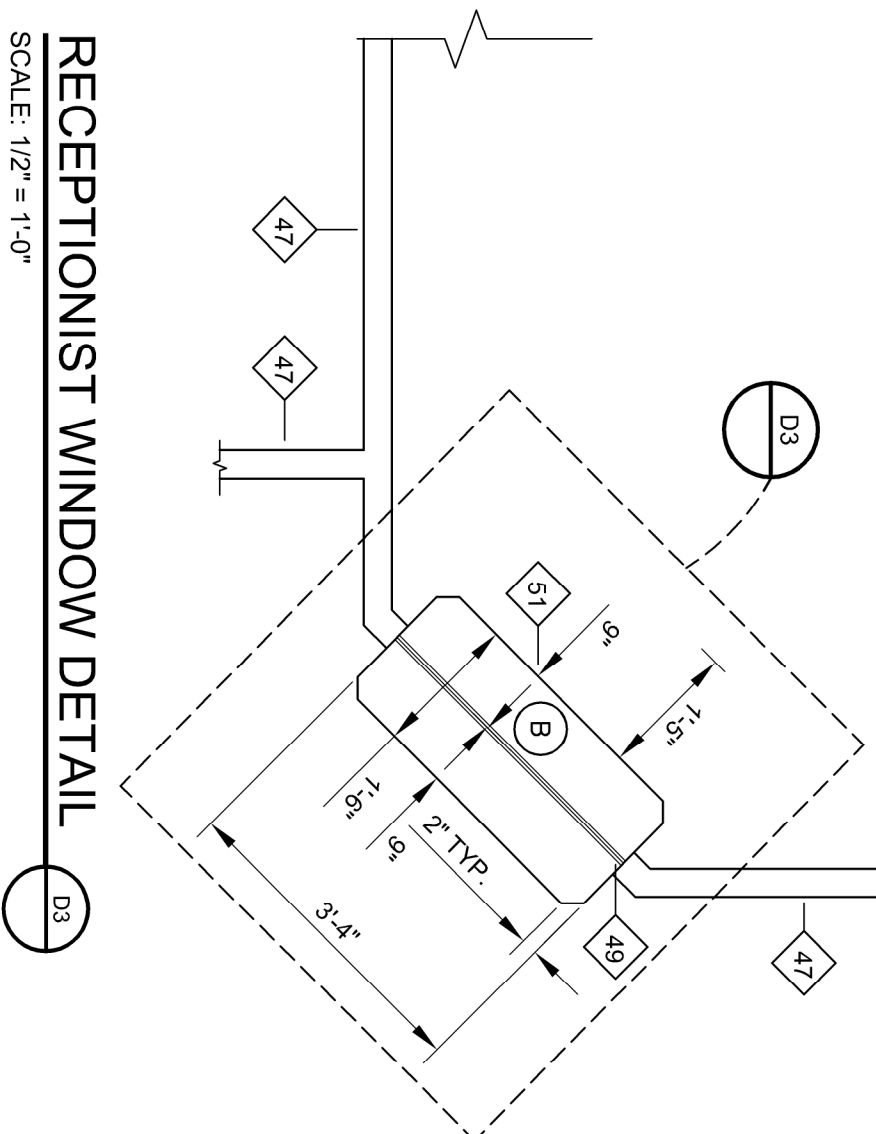
End of Addendum



DETAIL
SCALE: 1/2" = 1'-0"



SECTION



RECEPTIONIST WINDOW DETAIL
SCALE: 1/2" = 1'-0"

KEYNOTES:

1. EXISTING CONCRETE FOUNDATION WALL TO REMAIN.
2. EXISTING INTERIOR 4" CONCRETE FLOOR SLAB WITH 6"x6" - 10/10 W.W.F. OVER VAPOUR BARRIER AND 5" GRAVEL BASE.
3. EXISTING FINISHED GRADE TO REMAIN.
4. EXISTING 1-1/2" HIGH RIB METAL SIDING OVER 3-1/2" (BAG TYPE) INSULATION.
5. EXISTING RAKE TRIM TO REMAIN.
6. EXISTING PRE-ENGINEERED METAL BUILDING ROOF DECK WITH MR-24 STANDING SEAM METAL ROOF TO REMAIN.
7. EXISTING FIBERGLASS INSULATION TO REMAIN.
8. EXISTING PRE-ENGINEERED METAL BUILDING ENDWALL COLUMN TO REMAIN.
9. EXISTING PRE-ENGINEERED METAL BUILDING ROOF BEAM TO REMAIN.
10. EXISTING PRE-ENGINEERED METAL BUILDING BAR JOIST TO REMAIN.
11. SUSPENDED ACOUSTICAL TILE.
12. SUSPENDED CEILING HANGERS.
13. EXISTING 3-1/2" STEEL STUD WALL WITH 5/8" DRYWALL TO REMAIN.
14. EXISTING WINDOW FRAMING TO REMAIN.
15. PROPOSED 3 1/2"x2 1/2" METAL FLASHING WITH 1/2" DRIP EDGE (BRONZE FINISH).
16. PROPOSED EIFS FINISH SYSTEM (FILED TO MATCH EXISTING METAL SIDING, TAN AND TRIM TO MATCH EXISTING METAL TRIM, BROWN) PER DETAIL ON SHEET 10 OF 26.
17. PROPOSED 3 1/2"x3/4" PROTRUSION EIFS TRIM WITH 45 DEGREE RETURN TO FIELD (BROWN COLOR TO MATCH EXISTING METAL TRIM).
18. PROPOSED METAL SILL PAN WITH DRIP EDGE (BRONZE FINISH).
19. PROPOSED METAL WINDOW TRIM (BRONZE FINISH).
20. PROPOSED METAL J-CHANNEL TRIM TO MATCH EXISTING.
21. PROPOSED PROVA INTEGRA 200 SERIES OR APPROVED EQUAL VINYL REPLACEMENT WINDOW.
22. PROPOSED ELASTOMERIC SEALANT LIKE GECEL PROCOLOR SWD TRIPOLYMER SEALANT.
23. PROPOSED STEEL STUD FRAMED WALL (SIZED PER FLOOR PLAN) WITH 22 GA. STUDS @ 16" O.C., KRAFT BACK FIBERGLASS BATTEN INSULATION, 3/4" PLYWOOD SHEETING AND TYPAR WRAP.
24. PROPOSED STEEL STUD FRAMED WALL (SIZED PER FLOOR PLAN) WITH 22 GA. STUDS @ 16" O.C., KRAFT BACK FIBERGLASS BATTEN INSULATION, 5/8" GYPSUM BOARD.
25. PROPOSED 10 1/2" FINISHED WOOD EXTENSION JAMB.
26. PROPOSED 11 3/4" FINISHED WOOD WINDOW STOOL.
27. PROPOSED FINISHED WOOD WINDOW A/P/RON (CASING) PER FINISH SCHEDULE AND ASSOCIATED NOTES.
28. PROPOSED FINISHED WOOD WINDOW CASING PER FINISH SCHEDULE AND ASSOCIATED NOTES.
29. PROPOSED FINISHED WOOD BASE.
30. METAL STUD FRAMED WALL.
31. SHEETING.
32. JOINT TREATMENT.
33. BRICK FLASHING.
34. PROPOSED TYPAR AIR/WATER BARRIER.
35. PROPOSED CONTINUOUS DRAINABLE INSULATION.
36. PROPOSED REINFORCING MESH.
37. PROPOSED SCRATCH COAT OVER REINFORCING MESH.
38. PROPOSED EIFS BASE AND FINISH COAT SYSTEM.
39. PROPOSED CMU WALL WITH CONCAVE TOOLED JOINTS TO MATCH EXISTING, SIZED PER THE FLOOR PLAN.
40. PROPOSED #4 REBAR IMBEDDED IN CONCRETE SLAB AND EXTENDED THROUGH BOND BEAM AND GROUT CELL FULL, 48" O.C.
41. PROPOSED CONTINUOUS BOND BEAM WITH 2#4 REBARS AND GROUT FULL, SLICK OFF TOP.
42. EXISTING CMU WALL TO REMAIN.
43. PROPOSED STEEL STUD FRAMED COLUMN CONNECTED TO EXISTING WALL.
44. PROPOSED FLUTED 1x4 FINISHED WOOD COLUMN WRAP.
45. PROPOSED FLUTED 1x12 FINISHED WOOD COLUMN WRAP.
46. PROPOSED 1x4 FINISHED WOOD CORNER, SYMMETRICAL ON BOTH SIDES.
47. PROPOSED STEEL STUD (SIZED PER FLOOR PLAN) FRAMED WALL WITH 22 GA. STUDS @ 16" O.C. AND 5/8" GYPSUM BOARD ON BOTH SIDES.
48. PROPOSED DOUBLE 18GA., 2x6 STEEL STUD HEADER WITH TRACK ON TOP AND BOTTOM.
49. PROPOSED ALUMINUM, DOUBLE WINDOW TRACK FOR RECEPTIONIST WINDOW.
50. PROPOSED RECEPTIONIST WINDOW.
51. PROPOSED CORIAN SOLID WORK TOP WITH INTEGRAL WALL SUPPORTS (2 EACH SIDE).
52. 2X4x3 1/2" FIBERGLASS INSULATION PADS TYP.
53. PROPOSED 2x4 OR 2x6 WOOD REINFORCING (SIZED PER FLOOR PLAN).
54. PROPOSED FINISHED, SOLID CORE, WOOD DOOR WITH SOLID WOOD RAILS AND JAMB WITH DOOR STOP.
55. PROPOSED 1" UNDERCUT WHERE SPECIFIED IN DOOR SCHEDULE.
56. PROPOSED 18 GA., TRACK REINFORCED WITH 2-2x4 OR 2x6 KING STUDS ON BOTH SIDE OF EVERY DOOR (SIZED PER FLOOR PLAN).
57. PROPOSED ADA COMPLIANT LOCK SET PER THE DOOR HARDWARE SCHEDULE.
58. EXISTING BRICK VENEER WALL TO REMAIN.
59. PROPOSED 18 GA., 2x6 STEEL STUDS @ 16" O.C. WITH 5/8" GYPSUM BOARD ON INTERIOR SIDE.
60. EXISTING CARPORT STRUCTURE TO REMAIN.
61. PROPOSED TERMINATION CHANNEL FLASHING FASTENED BETWEEN EXISTING CARPORT PURLINS.
62. PROPOSED FIBERGLASS BATTEN INSULATION.
63. PROPOSED EXTERIOR FINISH INSTALLATION SYSTEM (EIFS). SEE DETAIL D4.
64. PROPOSED #4 REBAR AT 12" O.C. E.W.
65. PROPOSED CONCRETE FOOTING.
66. PROPOSED CONCRETE SLAB, SEE FLOOR PLAN.
67. PROPOSED FRONT DOUBLE DOOR.
68. PROPOSED RIGID FOUNDATION INSULATION.



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ADMINISTRATION AND COMMUNITY SERVICES RENOVATION
RECEPTIONIST WINDOW DETAIL

DARKE COUNTY BOARD OF DEVELOPMENTAL DISABILITIES

PROJ. NO.: GR04071014 DWG. NO.: 1C2568 SCALE: AS NOTED
DRAWN: H.B.R. CHECKED: M.W.H. DATE: 2/25/15 SHEET NO.: S5.03