

ADDENDUM NO. 2

BUCKEYE PARK TENNIS COURT RECONSTRUCTION Village of Leipsic

March 19, 2019

To: Planholders

From: Mote & Associates, Inc. Phone: (937) 548-7511
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Re: Village of Leipsic
Buckeye Park Tennis Court Reconstruction

This Addendum forms a part of the Contract Documents and modifies the original Contract Documents dated February 2019 and Addendum No. 1 dated March 13, 2019. Acknowledge receipt of this Addendum in the space provided on the Bid Proposal form. Failure to do so may subject the Bidder to disqualification.

CHANGES/CLARIFICATIONS TO THE TECHNICAL SPECIFICATIONS:

1. CHAIN LINK FENCE AND GATES, Section 32 31 13

Part Two, 2.01, Item B, first sentence shall be changed to read, "Fabric: The fabric shall be woven with nine (9) gauge steel wire or aluminized coated steel wire."

CHANGES/CLARIFICATIONS TO THE CONSTRUCTION PLANS:

2. NOTES & DETAILS, Construction Plan Sheet #5 of 5

The Contractor will need to provide a fence system that includes a middle rail. Construction Plan Sheet #5 has been updated to reflect this change and is attached.

End of Addendum

Attachments: Updated Construction Plan Sheet #5 of 5

- THE LOCATION OF THE UNDERGROUND UTILITIES HAVE BEEN OBTAINED BY DILIGENT FIELD CHECKS AND SEARCHES OF AVAILABLE RECORDS. IT IS BELIEVED THAT THEY ARE ESSENTIALLY CORRECT, HOWEVER THEIR ACCURACY AND/OR COMPLETENESS IS NOT GUARANTEED.

THE ENGINEER DOES NOT GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN ARE THE ONLY ONES IN EXISTENCE (EITHER IN SERVICE OR ABANDONED). THE ENGINEER ALSO DOES NOT GUARANTEE THE LOCATIONS AS SHOWN ARE EXACT. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY EXISTING LOCATIONS AND REPAIR ANY DAMAGE DONE TO THEM. REPORT DIFFERING FIELD CONDITIONS TO OWNER & ENGINEER IMMEDIATELY.
- RECORD PLANS:

THE CONTRACTOR SHALL BE RESPONSIBLE FOR KEEPING NOTES OF THE CONSTRUCTION PROCESS OF ALL WORK, INCLUDING SUBCONTRACTOR'S WORK, THAT CAN BE PRESENTED TO THE ENGINEER FOR DEVELOPMENT OF RECORD PLANS. SUCH NOTES SHALL INCLUDE INFORMATION GATHERED DURING THE SEQUENCE OF CONSTRUCTION, REGARDING UNDERGROUND UTILITY LOCATIONS, INCLUDING DEPTHS AND LOCATIONS, INCLUDE ANY UTILITIES NOT SHOWN ON THE PLANS OR DEVIATIONS FROM LOCATIONS SHOWN ON THE PLANS. UNDERGROUND UTILITIES SHALL INCLUDE STORM DRAINS, GAS LINES, ELECTRIC, COMMUNICATION CABLES, AS WELL AS EXISTING WATER LINES AND EXISTING SANITARY SEWER LINES THAT ARE SCHEDULED TO REMAIN IN SERVICE. THE CONTRACTOR SHALL PRESENT THIS INFORMATION TO THE ENGINEER UPON COMPLETION OF CONSTRUCTION.
- SUBCONTRACTOR SUPERVISION:

THE CONTRACTOR IS REQUIRED TO HAVE SOMEONE ON-SITE TO SUPERVISE ALL SUBCONTRACTORS FOR QUALITY CONTROL PURPOSES AND TO PROVIDE ANY NECESSARY ASSISTANCE TO THE SUBCONTRACTOR TO ENSURE QUALITY WORK.
- DEWATERING:

THE CONTRACTOR SHALL PROVIDE AS PART OF THIS BID ANY NECESSARY DEWATERING OR PUMPING NECESSARY FOR THE CONSTRUCTION OF ANY ITEMS SHALL BE INCIDENTAL TO THOSE PARTICULAR CONSTRUCTION ITEMS.
- CONSTRUCTION DEBRIS AND TRACKING OF MUD ON PUBLIC THOROUGHFARES:

THE TRACKING OR SPILLAGE OF MUD, DIRT, OR DEBRIS UPON VILLAGE STREETS IS PROHIBITED AND ANY SUCH OCCURRENCE SHALL BE CLEANED UP IMMEDIATELY BY THE CONTRACTOR.
- SAFETY:

THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR COMPLYING WITH ALL FEDERAL, STATE, AND LOCAL SAFETY REQUIREMENTS, TOGETHER WITH EXERCISING PRECAUTIONS AT ALL TIMES FOR THE PROTECTION OF PERSONS (INCLUDING EMPLOYEES) AND PROPERTY. IT IS ALSO THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO INITIATE, MAINTAIN, AND SUPERVISE ALL SAFETY REQUIREMENTS, PRECAUTIONS, AND PROGRAMS IN CONNECTION WITH THE WORK.
- EXISTING TILE CONNECTION:

ANY STORM DRAINAGE TILE CURRENTLY CONNECTED TO THE EXISTING STORM SEWER SYSTEM SHALL REMAIN IN SERVICE OR BE RECONNECTED TO THE STORM SEWER. ANY DRAINAGE TILE DAMAGED BY THE CONTRACTOR SHALL BE REPLACED BY THE CONTRACTOR TO A CONDITION EQUAL TO OR BETTER THAN ITS ORIGINAL CONDITION. ALL TILE REMOVED, REPLACED AND/OR CONNECTED TO THE STORM SEWER SHALL BE NOTED ON THE RECORD DRAWINGS AND SHALL BE INSPECTED BY THE VILLAGE BEFORE THE TILES ARE COVERED UP.

ALL FIELD OR STREAM DRAINS WHICH ARE ENCOUNTERED DURING CONSTRUCTION SHALL BE PROVIDED WITH UNOBSTRUCTED OUTLETS. CONNECTION OF INTERSECTING DRAIN TILES AND THE PROPOSED STORM SEWER SHALL BE THROUGH MANUFACTURED TEES UNLESS OTHERWISE APPROVED BY THE VILLAGE.
- RESTORATION OF AREAS OUTSIDE THE CONSTRUCTION LIMITS:

THE CONTRACTOR SHALL BE RESPONSIBLE FOR PAVEMENT, GRASS AND ANY OTHER ITEMS OUTSIDE THE CONSTRUCTION LIMITS SHOWN IN THESE PLANS THAT BECOME DAMAGED OR DESTROYED BY THIS OPERATION. THE CONTRACTOR WILL PROMPTLY REPLACE THESE ITEMS AT HIS OWN EXPENSE. THE CONTRACTOR SHALL BE RESPONSIBLE TO DOCUMENT PREEXISTING DAMAGE AND BRING TO THE ATTENTION OF THE VILLAGE IN WRITING OR BY PROVIDING PHOTOGRAPHS PRIOR TO THE START OF CONSTRUCTION.
- MISCELLANEOUS:

COMPENSATION FOR THE WORK AS SHOWN ON THE PLANS SHALL BE AT THE UNIT PRICES ON THE BID PROPOSAL. NO SEPARATE PAYMENT WILL BE MADE FOR TASKS (NOT ALL INCLUSIVE) INCLUDING SUCH ITEMS AS MOBILIZATION, INVESTIGATION, RECORDING DRAWINGS, AND CONNECTIONS TO EXISTING FACILITIES.
- VANDALISM:

THE CONTRACTOR SHALL BE RESPONSIBLE FOR SUPERVISION OF ALL NEW CONCRETE POUR WORK UNTIL THE CONCRETE IS SET. THE REMOVAL AND REPLACEMENT OF ANY CONCRETE DEEMED UNACCEPTABLE BY THE ENGINEER DUE TO DEFAUCING OF THE CONCRETE BEFORE THE CONCRETE IS SET IS THE RESPONSIBILITY OF THE CONTRACTOR.
- PROPERTY POINTS AND SURVEY MONUMENTS:

THE CONTRACTOR SHALL SAFEGUARD ANY PROPERTY POINTS OR OTHER SURVEY REFERENCE MARKS ENCOUNTERED DURING CONSTRUCTION OF THIS PROJECT. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RESET ANY PROPERTY POINTS AND SURVEY MONUMENTS. DISTURBED POINTS SHALL BE RESET UNDER THE SUPERVISION OF A PROFESSIONAL SURVEYOR. ALL COSTS FOR RESETTING ALL SURVEY POINTS OR MONUMENTS SHALL BE INCLUDED IN CONTRACTORS BID.
- FUNDING LIMITATIONS:

DUE TO THE LIMITATIONS IN FUNDING, THE OWNER RESERVES THE RIGHT TO INCREASE, DECREASE OR OMIT ANY ITEMS LISTED IN THE BID SCHEDULE, WITHOUT ADDITIONAL COMPENSATION TO THE CONTRACTOR.

- SUBGRADE PREPARATION (UNSUITABLE MATERIAL)

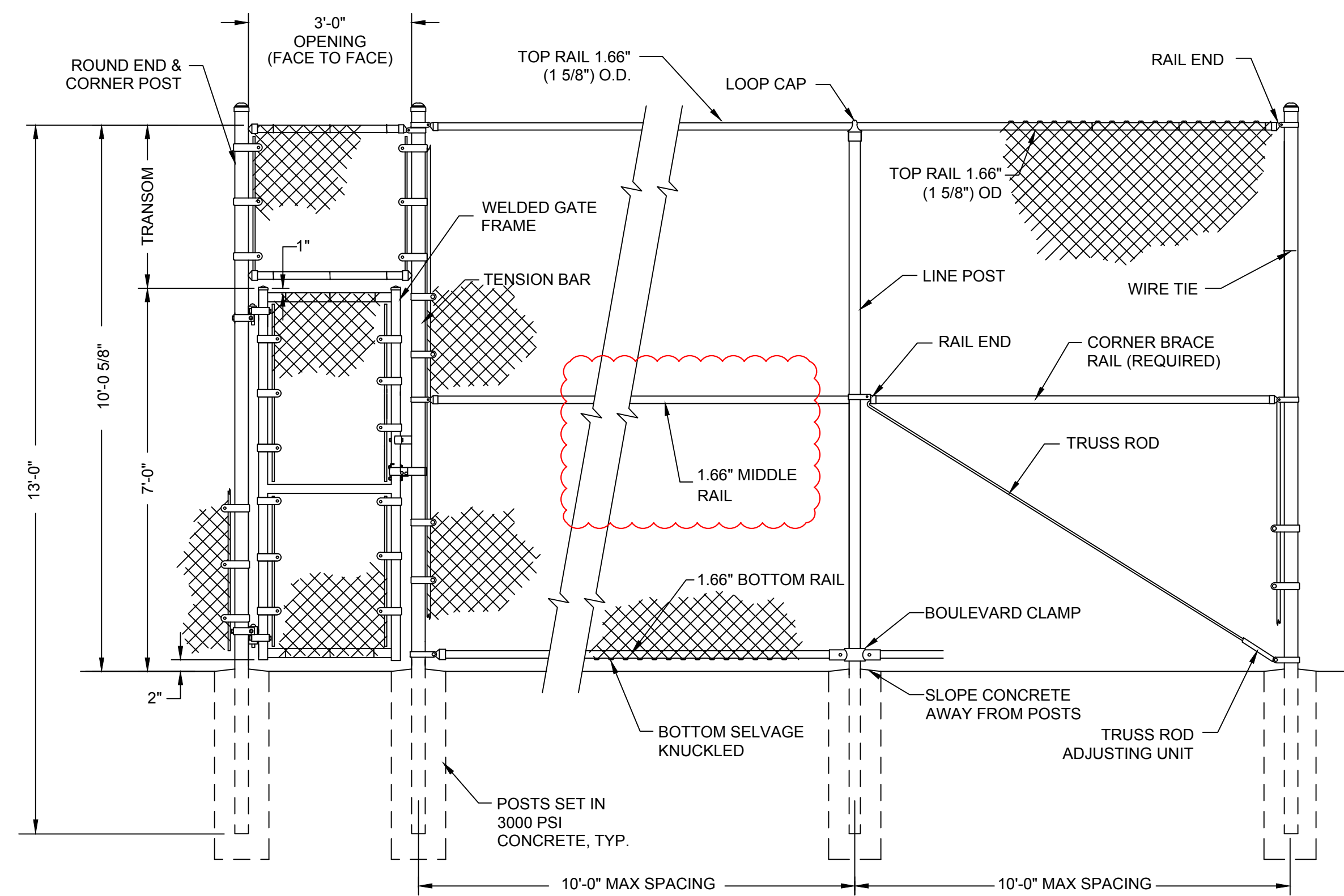
FREQUENTLY WHEN EXISTING PAVEMENT/AGGREGATE BASE IS REMOVED THE UNDERLYING SUBGRADE IS MOIST AND UNSTABLE. THE VILLAGE SHALL RESERVE THE RIGHT TO DIRECT THE CONTRACTOR TO EXCAVATE ANY OF THIS UNSTABLE SUBGRADE AND REPLACE IT WITH ITEM 304 AGGREGATE BASE (THOROUGHLY COMPACTED). THE CONTRACTOR SHALL BE PAID ON A CUBIC YARD BASIS MEASURED "IN PLACE" AND BY CROSS SECTION. THE VILLAGE RESERVES THE RIGHT TO ADD, DEDUCT OR NON-PERFORM THIS WORK, AS NEEDED TO ATTAIN A SUITABLE SUBGRADE.

IN ADDITION TO THE AGGREGATE BASE, THE VILLAGE MAY ALSO DIRECT THE CONTRACTOR TO INSTALL GEOGRID IN THESE AREAS. THE VILLAGE RESERVES THE RIGHT TO ADD, DEDUCT OR NON-PERFORM THIS WORK, AS NEEDED TO ATTAIN A SUITABLE SUBGRADE. GEOGRID INSTALLED AS PART OF THIS ITEM SHALL BE LIKE GEOTEXTILE "BIAXIAL" TYPE I, OR EQUAL.
- MUD:

THE TRACKING OR SPILLAGE OF MUD, DIRT, OR DEBRIS UPON VILLAGE STREETS IS PROHIBITED AND ANY SUCH OCCURRENCE SHALL BE CLEANED UP IMMEDIATELY BY THE CONTRACTOR.
- THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROTECT PAVEMENT AND PROPERTY WHEN USING NON-RUBBER TIRE VEHICLES ON ADJOINING STREETS, PAVEMENT, AND DRIVES. PROTECTION OF THE PAVEMENT FROM TRACKS OF NON-RUBBER TIRE VEHICLES USING A WOOD PLANK SYSTEM, RUBBER MATS, OR OTHER MEANS AS APPROVED BY THE VILLAGE WILL BE REQUIRED. THE COSTS FOR THIS PROTECTION SHALL BE INCLUDED IN THE UNIT PRICE BID FOR VARIOUS ITEMS OF THE CONTRACT.
- TESTING:

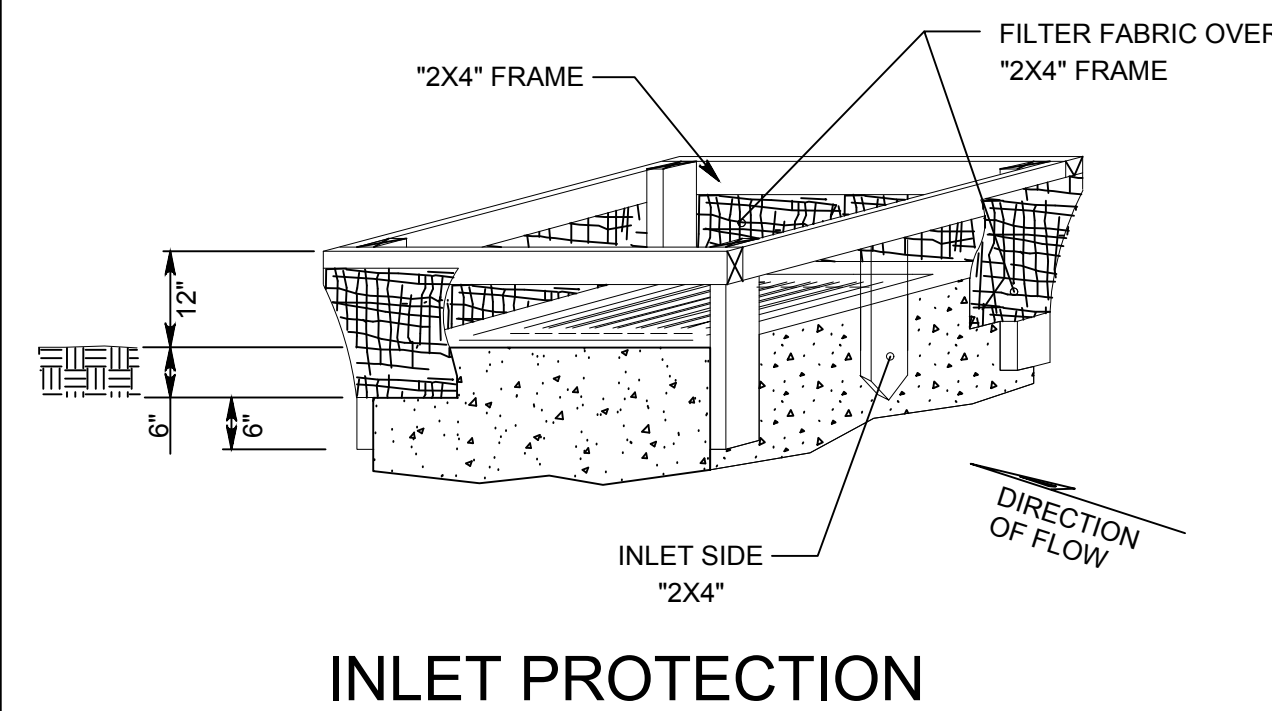
SUBGRADE COMPACTION TESTING, CONCRETE TESTING, TRENCH BACKFILL TESTING, PAVEMENT TESTING SHALL BE REQUIRED AND BE INCLUDED IN THE UNIT PRICE BID.
- EROSION CONTROL:

THE COST OF ALL LABOR, EQUIPMENT AND MATERIALS NECESSARY TO SUPPLY, INSTALL, MAINTAIN AND REMOVE EROSION CONTROL DEVICES THROUGHOUT THE CONSTRUCTION PROCESS SHALL BE CONSIDERED INCIDENTAL. THE EROSION CONTROL SHALL AT A MINIMUM CONSIST OF THE INSTALLATION OF SEDIMENT BAGS ON ALL EXISTING CATCH BASINS, INLINE DRAINS, ETC.



FENCE POST DETAIL

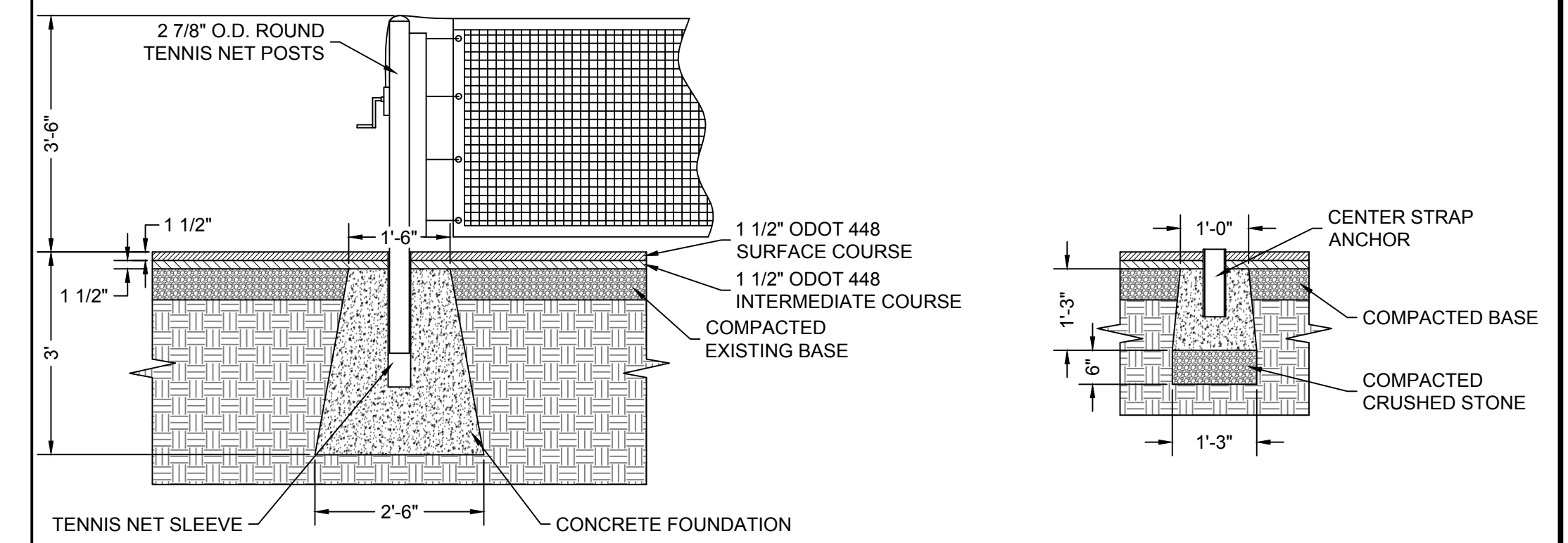
SCALE: NONE



INLET PROTECTION

MATERIALS:
FURNISH INLET PROTECTION CONSISTING OF 18" WIDE FILTER FABRIC FENCE WITH A SECURELY NAILED "2X4" WOOD FRAME WITH A VERTICALLY DRIVEN "2X4" ON THE INLET OR FLOW SIDE OF THE STRUCTURE. USE FILTER FABRIC CONFORMING TO 712.09 TYPE C.

CONSTRUCTION:
CONSTRUCT AN 18" WIDE FILTER FABRIC FENCE SUPPORTED AROUND ALL EXISTING STORM DRAIN INLET OR CATCH BASIN WITH A SECURELY NAILED "2X4" WOOD FRAME. EXCAVATE A 6" TRENCH AROUND THE INLET, AND DRIVE SUPPORT POSTS 6" BELOW THE EXCAVATED TRENCH BOTTOM. STRETCH THE FABRIC AROUND THE FRAME. SECURE IT TIGHTLY ENSURING THAT 6" OF FABRIC IS IN THE TRENCH. OVERLAP THE FABRIC ON ONE SIDE OF THE INLET SO THAT THE FABRIC ENDS ARE NOT ATTACHED TO THE SAME POST. BACKFILL AND COMPACT THE EXCAVATED SOIL TIGHTLY ONTO THE FABRIC. PLACE A VERTICAL "2X4" IN THE CENTER OF THE INLET SO THAT THE TOP IS AT THE TOP OF THE FENCE AND THE BOTTOM IS AT LEAST 6" BELOW THE BOTTOM OF THE DITCH.

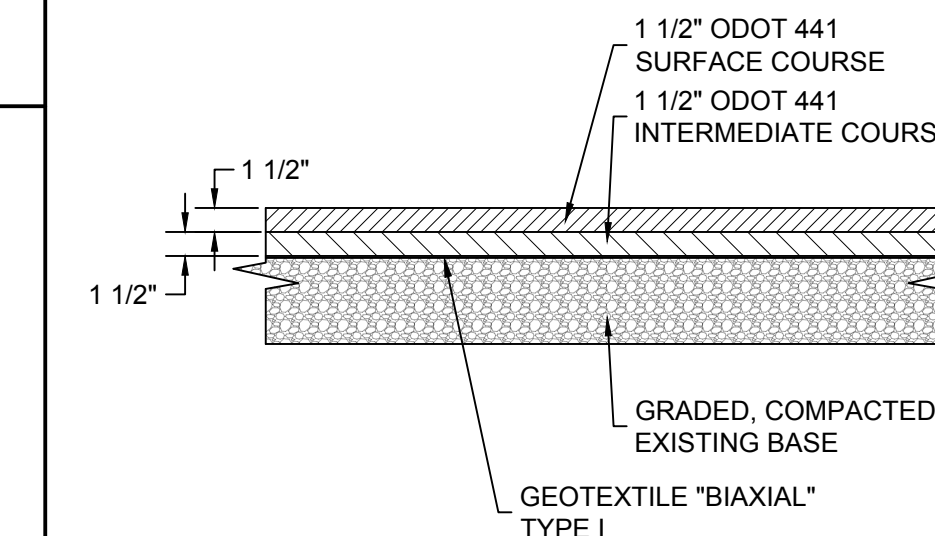


NET POST DETAIL

SCALE: NONE

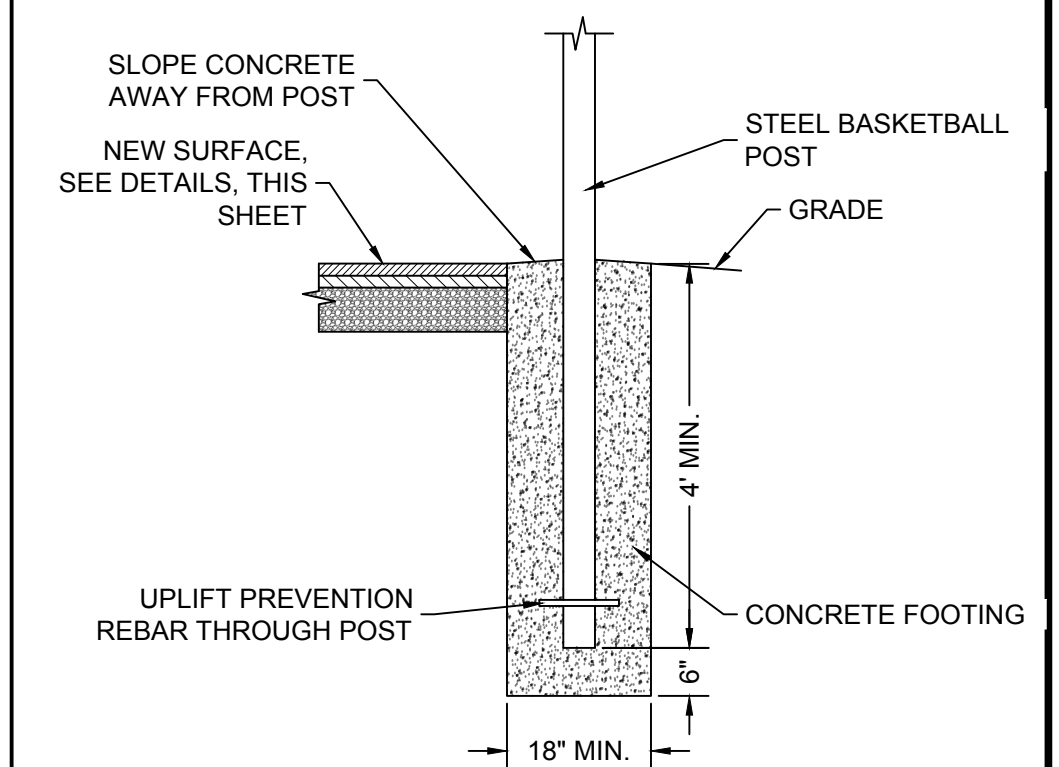
CENTER NET STRAP DETAIL

SCALE: NONE



TYPICAL ASPHALT REPLACEMENT SECTION

NO SCALE



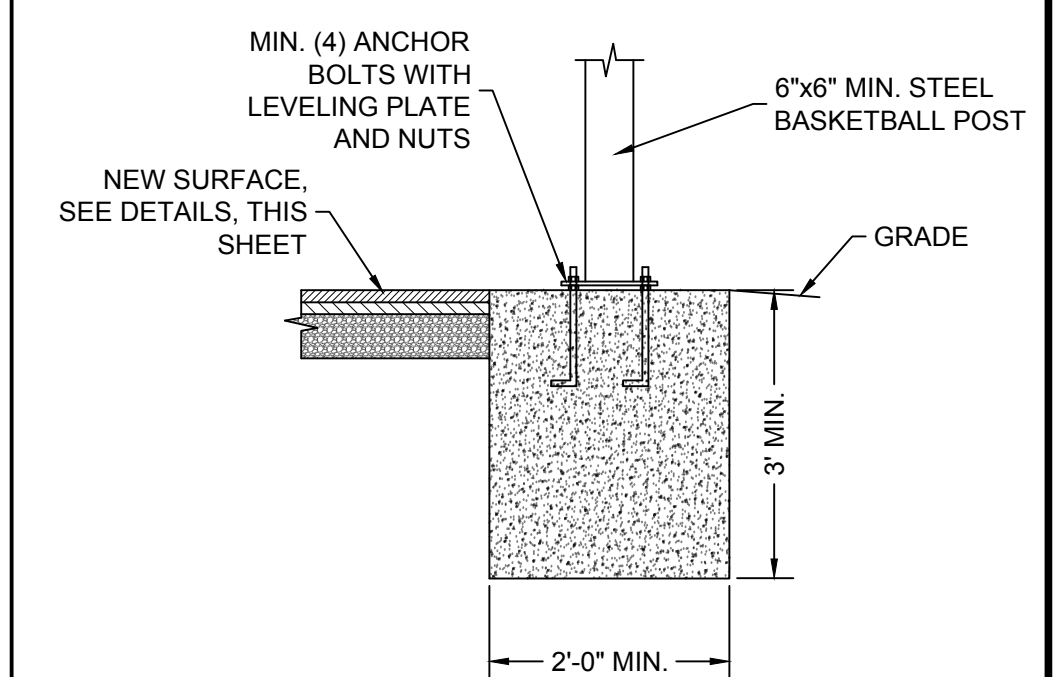
BASKETBALL GOAL POST DETAIL #1

SCALE: NONE

NOTE:
IF ALTERNATE IS SELECTED, INSTALL GOAL POST PER MANUFACTURER'S WRITTEN INSTRUCTIONS.

GENERAL NOTE

- TENNIS COURT, AND PICKLEBALL EQUIPMENT INSTALLATION DETAILS SHOWN MAY VARY FROM CHOSEN MANUFACTURER. GENERAL CONTRACTOR SHALL INSTALL EQUIPMENT PER MANUFACTURER'S INSTALLATION INSTRUCTIONS.



BASKETBALL GOAL POST DETAIL #2

SCALE: NONE

NOTE:
IF ALTERNATE IS SELECTED, INSTALL GOAL POST PER MANUFACTURER'S WRITTEN INSTRUCTIONS.

03/19/19 - ADDENDUM #2
PROVIDE MIDDLE RAIL.

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NOTES & DETAILS			
OUTDOOR TENNIS/BASKETBALL/PICKLEBALL COURT RENOVATIONS			
VILLAGE OF LEIPIC			
PROJ. NO: L110071618	DWG. NO:	SCALE: AS NOTED	
DRAWN: CRM	CHECKED: MJB	DATE: 02/12/19	SHEET NO: 5 OF 5